

# Sumter City-County Planning Commission

January 22, 2025

## SD-24-04, Mara Hills Subdivision - (County)

### I. THE REQUEST

**Applicant:** Stephen Dinkins, Jr.

**Status of the Applicant:** Authorized Agent for Property Owner

**Request:** A request for preliminary subdivision approval to develop a 30-lot single-family residential subdivision

**County Council District** District 2

**Location:** Intersection of Charles Jackson St. and Camden Hwy.

**Size of Property:** +/- 16.49 acres

**Present Use/Zoning:** Undeveloped / General Commercial (GC)

**Proposed Use of Property:** 30-lot single family residential subdivision

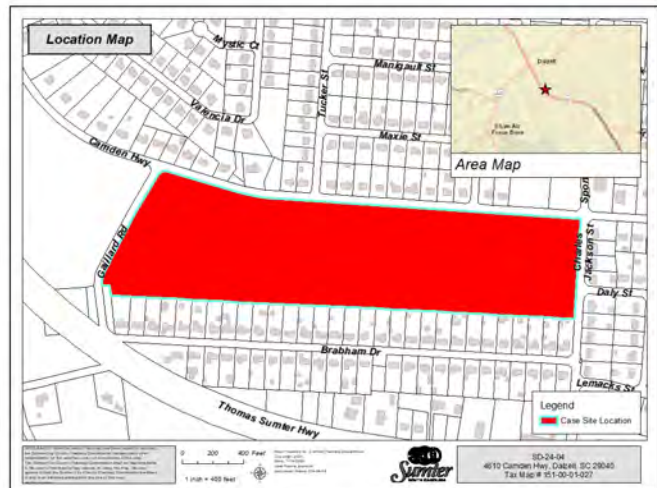
**Tax Map Reference:** 151-00-01-027

**Adjacent Property Land Use and Zoning:** North: Residential / Agricultural Conservation (AC)  
South: Residential / Agricultural Conservation (AC)  
East: Residential / Agricultural Conservation (AC)  
West: Undeveloped / General Commercial (GC)

### II. BACKGROUND

The applicant is proposing to develop a 30-lot single-family residential subdivision on +/- 16.49 acres of land. The property has physical frontage on Charles Jackson St. and is shown in red on the map to the right. The proposed name of the subdivision is Mara Hills, and the proposed street name for subdivision's street is Oryx Lane.

The property is zoned General Commercial (GC), and is proposed to have one full access connection to Charles Jackson St.



The subdivision plan also includes an access easement on the eastern boundary of the property to enable a future roadway connection to Camden Hwy at Tucker St.

### III. PRELIMINARY PLAT REVIEW

Under *Article 7.d.5*, the approval of the preliminary plat constitutes approval of the subdivision as to its character, intensity of development, general layout, and the approximate dimensions of streets, lots and other planned features. This approval binds the developer to the general scheme of the subdivision and permits the developer to proceed with the installation of site improvements, subject to obtaining other necessary permits.

The following review is based upon the preliminary plan submission titled, “*Mara Hills Residential Subdivision*” (*Sheets C1 – C5*), prepared by Jones and VanPatten, LLC and dated January 8, 2025.

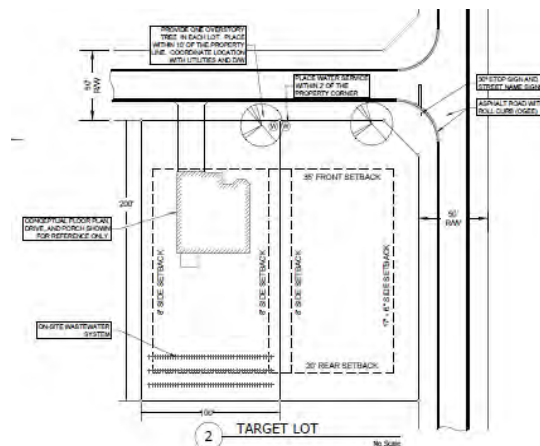
A copy of the submitted site plan and landscaping plans are included with this report as Exhibits 3 & 4. The proposed development was reviewed against General Commercial (GC) zoning district requirements for residential development and all other standards applicable to the subdivision and development of land outlined in the *Sumter County Zoning & Development Standards Ordinance* (the Ordinance).

#### *Zoning District Requirements*

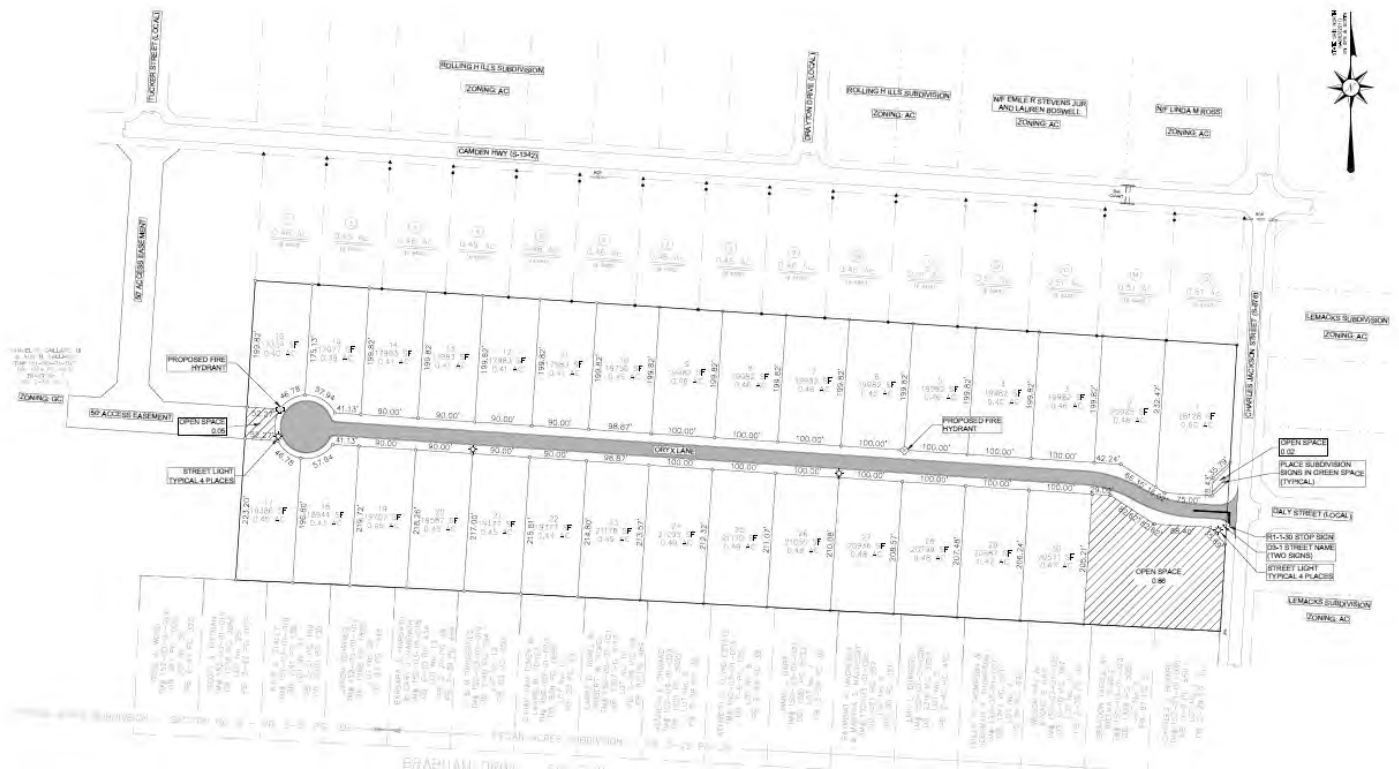
Single-Family Detached Residential homes are Conditional Uses in the General Commercial (GC) District. Minimum development standards for this use in the GC zoning district are as follows:

Minimum Lot Area	Minimum Lot Width	Min. Building Setbacks	Max Impervious Surface Ratio	Max Density (units per gross acre)	Maximum Building Height
6,000 sq. ft.	60 ft.	Front – 35 ft. Exterior Side: 17.5 ft. Interior Side: 8 ft. Rear: 20 ft.	45%	7.2	35 ft

The proposed preliminary plan indicates that proposed single family detached lots range from 16,988 sq. ft. to 26,136 sq. ft. in size, with most lots being approximately 0.45 acres. The lot width for each proposed single-family detached lot as shown on the plan is 100 ft.



The proposed Oryx Lane is considered “local low intensity” per the street standards outlined *Article 8* of the Ordinance. The street will not have on-street parking, will have a 20 ft. pavement width, and 50 ft. total right-of-way (ROW) area. No sidewalks are required or proposed. The street plans meet the minimum requirements of the Ordinance. A full engineering review of the street plans will be conducted by Sumter County Public Works prior to approval to proceed with construction.

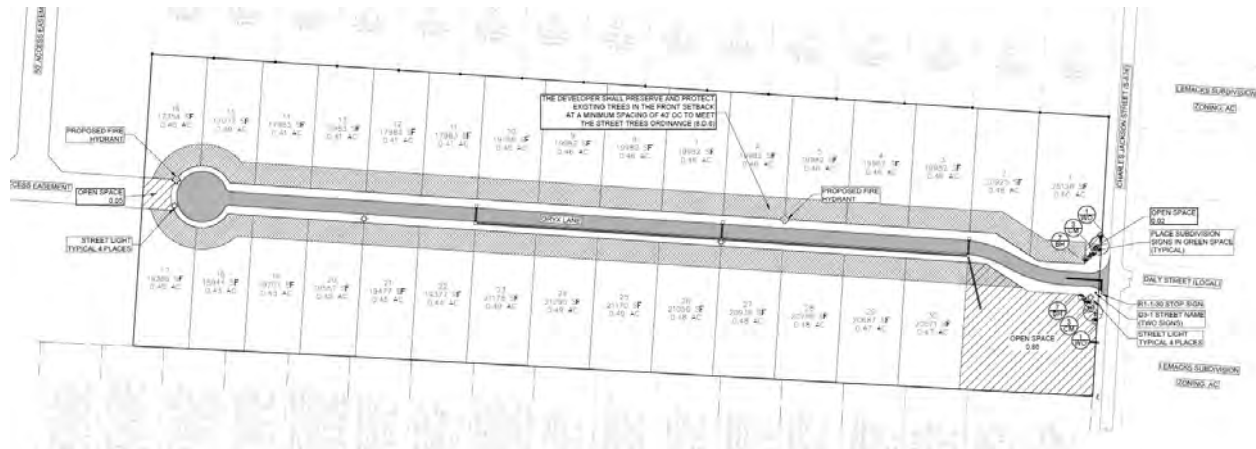


**Figure 1 - Site Plan Layout**

**Tree Protection, Buffering, Landscaping, & Open Space Plans:**

The existing site is wooded via natural growth. No tree survey details have been submitted to date, and the site contains an unknown number of significant/historic trees.

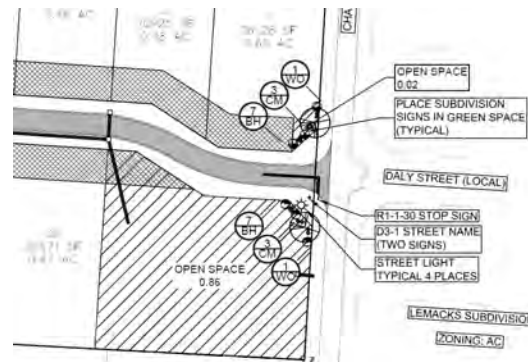
A proposed landscaping plan has been articulated on the submitted plans. The applicant is proposing to preserve and protect existing trees in the front setback at a minimum spacing of 40 ft on center to meet the Ordinance’s street tree requirement. At the subdivision’s entrance, the developer is proposing to plant 2 *Willow Oak* canopy trees, as well as 6 *Natchez Crepe Myrtle* understory trees and 14 *Dwarf Burford Holly* shrubs.



**Figure 2 – Proposed Street Buffer Preservation**



**Figure 3 - Stormwater Detention Area**



**Figure 4 - Subdivision Entrance Planting Plan**

**Environmental:**

The proposed development area is entirely within Zone X as shown on FEMA FIRM Panel 45085C0114F with an Effective Date of October 27, 2022.

National Wetland Inventory (NWI) mapping data indicates that there are no areas of wetland present.

**Stormwater Management Plan:**

The stormwater management plan for this subdivision shows one proposed stormwater retention facility located adjacent to the site’s Charles Jackson St. frontage. This is the natural low point of the site. Stormwater from the development will be collected via inlet and piped to the retention facility.

Ownership of all on-site stormwater management areas are to be conveyed to a Homeowners Association (HOA) with maintenance responsibilities addressed in the development's restrictive covenants.

Stormwater approval and NPDES coverage verification must be granted by the Sumter County Stormwater Utility prior to issuance of any construction or land disturbance permits.

***Public Safety:***

Fire Protection – There are no major concerns.

***Airfield Compatibility Districts (ACD):***

The proposed site is located within the Shaw AFB Noise Attenuation (NA) overlay district. This district requires notifications, such as signage, to inform new residents of the potential of noise impacts from base operations. Developers for all new major subdivisions will install at their expense a noise notification/warning sign (same as installed by Sumter County on the boundary of the NA) at each entrance to the subdivision before building permits may be issued.

***Sumter 2040 Comprehensive Plan - Military Protection Planning Area (MPA):***

The Military Protection Planning Area is intended to protect Shaw AFB and Poinsett Electronic Combat Range from encroachment of incompatible land uses and reduce the accident and noise potential to citizens in areas adjacent to these two critical military installations. Protection of the Shaw AFB mission is the community's primary goal in this area. The 2016 Joint Land Use Study (JLUS), a partnership between Shaw, the City, and the County, recommended changes to the Military Protection Planning Areas area based on a changing Shaw mission.

While both the 2040 Comprehensive Plan and the Shaw-Sumter Joint Land Use Study (JLUS) both recommend restricting residential density to 1.0 unit per gross acre, three factors mitigate the proposed Mara Hills Subdivision's impact on the MPA.

- The current pattern of development in three of the four cardinal directions around the proposed tract is single family residential at density of roughly 2 units per gross acre.
- The site lies at the northern boundary of the Noise Attenuation Zone, with property immediately across Camden Hwy not being subject to the noise regulations. No part of the proposed site is located within the existing DNL noise contours.
- The site is currently zoned General Commercial (GC), which allows consideration of residential uses at density up to 7.2 units per gross acre via the conditional use approval process. The proposed development density is 1.81 units per gross acre.
- The site is not located in the APZ or DDZ zones.

#### **IV. UTILITIES**

Utility plans are not required for preliminary plat approval; however, the applicant has indicated the following:

*Water* – The subdivision will be served by High Hills Rural Water Company.

*Sewer* – The subdivision will be developed with individual on-site septic systems for each lot.

*Solid Waste* - The subdivision will be served by a private vendor.

*Electric* – Black River Electric Cooperative.

*Postal Service* - It is anticipated the US Postal Service will require community mail box cluster(s)

## **V. TRANSPORTATION REVIEW**

The site’s physical frontage is on Charles Jackson St., and applicant is proposing access to that public roadway. In the area of the site, Charles Jackson St. is an SCDOT owned and maintained 2 lane local access roadway. There is no available traffic count data for Charles Jackson St. near the property.

Submitted plans show that one full access to the development is proposed. These improvements must be reviewed and approved by SCDOT.

The threshold requirements for the submission of a Traffic Impact Study (TIS) vary by use type. Based on the number of single-family residential lots proposed with this development, submission of a TIS is *not* required.

## **VI. TECHNICAL REVIEW**

The Sumter Technical Review Committee (TRC) members have reviewed the submitted plans electronically. The following technical review items must be addressed:

- Planning Department – See the outstanding technical review items outlined in *Exhibit 2*.

## **VII. STAFF RECOMMENDATION**

Staff recommends approval of this request, subject to the “Conditions of Approval” attached to the staff report as *Exhibit 1* and based on successful completion of the “Outstanding Technical Review Items” attached to the staff report as *Exhibit 2*.

## **VIII. DRAFT MOTION**

- 1) I move that the Planning Commission **approve** SD-24-04 as proposed via the preliminary plat submission titled, “*Mara Hills Residential Subdivision*” (*Sheets C1 – C5*), prepared by Jones and VanPatten, LLC and dated January 8, 2025. and subject to the Conditions of Approval in *Exhibit 1* and successful completion of the “Outstanding Technical Review Items” attached to the staff report as *Exhibit 2*.
- 2) I move that the Planning Commission **deny** SD-24-04.
- 3) I move an alternate motion.

## **IX. PLANNING COMMISSION – January 22, 2025**

**Exhibit 1:**  
**SD-24-04 – Mara Hills Subdivision (City)**  
**Proposed Conditions of Approval**

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1. The subdivision shall be developed in substantial conformance with the preliminary plat titled, “*Mara Hills Residential Subdivision*” (*Sheets C1 – C5*), prepared by Jones and VanPatten, LLC and dated January 8, 2025

Under *Article 7.d.5*, the approval of the preliminary plat constitutes approval of the subdivision as to its character, intensity of development, general layout, and the approximate dimensions of streets, lots and other planned features. This approval binds the developer to the general scheme of the subdivision and permits the developer to proceed with the installation of site improvements, subject to obtaining other necessary permits.

2. Prior to issuance of land disturbance permit(s), the following must be received by the Planning Department:
  - a. Copy of full civil engineered development plans for the subdivision, showing the latest revision date, with all outstanding technical review issues resolved.
  - b. Stormwater permit and NPDES approval from the Sumter County Stormwater Utility.
  - c. Results of tree survey verifying presence or absence of any trees classified as ‘significant’ (10-29” DbH) or ‘historic’ (>30” DbH) per *Article 8* of the *Sumter County Zoning & Development Standards Ordinance*.
  - d. Submission of SCDES Permit to Construct for Water Infrastructure.
3. Final plat approval for the development is contingent upon the following:
  - a. Road Infrastructure: installation and acceptance of roadway infrastructure by Sumter County Public Works for each section of development (in its entirety) is required prior to final plat approval for any new lots in each section, respectively.
  - b. Noise Hazard Signs: Installation of a military airfield operations noise notification/warning sign at the subdivision entrance must be completed.
  - c. Water Utility Infrastructure: installation and acceptance of all water infrastructure by the utility provider for each section of development (in its entirety) is required prior to final plat approval for any new lots in each section, respectively.
  - d. Stormwater Detention Area Ownership & Maintenance:
    - i. Final executed Conditions, Covenants and Restrictions (CCR) documentation detailing stormwater pond maintenance responsibilities and ownership shall be provided to the Planning Department prior to issuance of the 1<sup>st</sup> Certificate of Occupancy.
  - e. SCDOT Encroachment Permit(s)
5. Timeline for installation of landscaping and open space:
  - a. *Stormwater Pond Buffer* – All required stormwater pond buffering must be complete and pass zoning inspection prior to final plat approval for any lot in the subdivision.
  - b. *Street Trees/Front Yard* – Preservation of existing trees in each front yard must be maintained prior to certificate of occupancy approval for each respective lot.

Agreed:

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Stephen Dinkins, Jr.,

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Date

**Exhibit 2:**  
**SD-24-04 – Mara Hills Subdivision (County)**  
**Outstanding Technical Review Items**

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The following technical review issues must be resolved as a condition of approval and prior to approval of any land disturbance activity on the property.

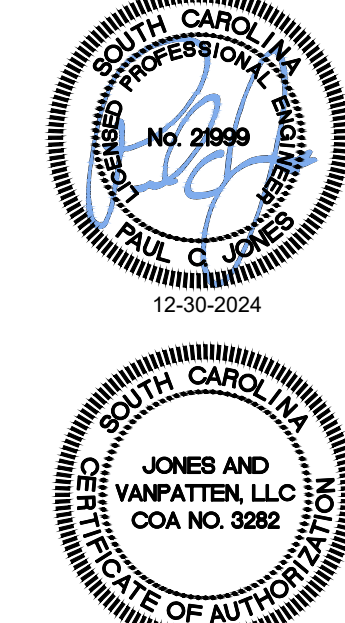
1. Applicant must provide subdivision entrance monument signage details (location(s), type of sign, etc.)
2. Applicant must provide a copy of all known restrictive covenants that apply to the subject property.
3. Applicant must provide confirmation from USPS that community mailbox cluster(s) are not required. If community mailbox cluster(s) are required, applicant must provide updated plan showing location and landscaping for community mailbox cluster(s).
4. Applicant must provide confirmation of entity providing public water service, as site is across the service areas of 2 separate providers (High Hills Rural Water Company and Dalzell Water District).
5. Applicant must provide results of tree survey verifying presence or absence of any trees classified as ‘significant’ (10-29” DbH) or ‘historic’ (>30” DbH) per *Article 8 of the Sumter County Zoning & Development Standards Ordinance*.



REVISION  
DATE

PROJECT: MARA HILLS RESIDENTIAL SUBDIVISION  
SHEET TITLE: LANDSCAPING PLAN

SEALS



DATE: 12-30-2024  
DRAWN BY: PCJ  
PROJ. NUMBER: 24015  
DWG. NAME: 24015.dwg  
SHEET NO.

		PLANT SCHEDULE			
SYMBOL	ABB.	SIZE	COMMON NAME	BOTANICAL NAME	QTY
OVERSTORY TREES	WO	2" CALIPER	WILLOW OAK	QUERCUS PHellos	2
	CO	2" CALIPER	BALD CYPRESS	TAXODIUM DISTICHUM	11
	LY	2" CALIPER	LIVE OAK	QUERCUS VIRGINIANA	45
UNDERSTORY TREES	CM	15 GALLON 1.5" CALIPER	NATCHEZ CREPE MYRTLE	LAGERSTROEMIA INDICA NATCHEZ	6
	BH	3 GALLON	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	14

**LANDSCAPING NOTES**

**GENERAL**

- REFER TO THE CITY OF SUMTER ZONING ORDINANCE FOR ADDITIONAL REQUIREMENTS.
- PLANTINGS SHOULD BE SIZED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE MOST RECENT RECOMMENDATIONS OF AMERICAN NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING PROJECT SITE CONDITIONS AND ALL QUANTITIES INDICATED ON THESE PLANS, BEFORE PRICING WORK.
- PLANT MATERIAL LOCATIONS AND BED OUTLINES SHALL BE STAKED OR FLAGGED ON SITE BY THE CONTRACTOR AND SHALL BE ADJUSTED IF REQUIRED TO FIT ACTUAL AS-BUILT CONDITIONS ON SITE AND APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.
- ALL PROPOSED TREE PLANTING LOCATIONS SHALL BE STAKED OR FLAGGED BEFORE INSTALLATION AND APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.
- LANDSCAPE CONTRACTOR SHALL BEAR FINAL RESPONSIBILITY FOR PROPER SURFACE DRAINAGE OF PLANTED AREAS. ANY DISCREPANCY IN THE DRAWINGS, OBSTRUCTION ON THE SITE, OR PRIOR TO WORK DONE BY ANY OTHER PARTY, WHICH THE CONTRACTOR FEELS PRECLUDES ESTABLISHING PROPER DRAINAGE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR CORRECTION OR RELIEF OF SAID RESPONSIBILITY.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION OF PLANTING AREAS WITH INSTALLATION OF IRRIGATION SYSTEM.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAIN ALL PLANT MATERIAL ON SITE DURING AND BEFORE PLANTING, UNTIL THE WORK IS ACCEPTED BY THE OWNER.
- ALL PLANTS SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR TO BE HEALTHY PLANTS AND IN FLOURISHING CONDITION OF ACTIVE GROWTH FOR NINETY (90) DAYS FROM FINAL INSPECTION AND ACCEPTANCE. ALL TREES SHALL BE GUARANTEED AN ADDITIONAL ONE-YEAR FROM FINAL INSPECTION AND ACCEPTANCE.
- THE OWNER OR OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT TO REJECT ANY AND ALL WORK WHICH IN HIS OPINION DOES NOT MEET WITH THE REQUIREMENTS OF THE SPECIFICATIONS AT ANY STAGE OF THE PROJECT OPERATION.
- IN GENERAL, THE WORK SHALL PROCEED AS RAPIDLY AS THE SITE BECOMES AVAILABLE. KEEP ALL AREAS OF WORK CLEAN, NEAT, AND ORDERLY AT ALL TIMES.
- DO NOT PLACE ANY LIGHT POLES IN ANY OF THE TREE ISLANDS DIRECTLY SURROUNDING THE BUILDING. PLACE LIGHT POLES IN SOD AREAS BETWEEN THE SIDEWALKS AND CURB.

**PLANT REQUIREMENTS**

- PLANTS SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE, INSECTS, EGGS OR LARVAE AND SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS. THEY SHALL BE FREE FROM PHYSICAL DAMAGE OR ADVERSE CONDITIONS THAT WOULD PREVENT THRIVING GROWTH.
- ALL PLANTS MUST BE CONTAINER GROWN AND CONFORM TO THE VARIETIES INDICATED IN THE PLANT LIST.
- SUBSTITUTION OF PLANT MATERIALS WILL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE OWNER. IF PROOF IS SUBMITTED THAT ANY PLANT SPECIFIED IN NOT OBTAINABLE, A PROPOSAL WILL BE CONSIDERED FOR USE OF THE NEAREST EQUIVALENT SIZE OR VARIETY WITH CORRESPONDING ADJUSTMENT OF CONTRACT PRICE.
- WHERE SEEDING MAY BE REQUIRED ON THE PLANS, GERMINATION RATE SHALL BE THE MAXIMUM PERCENTAGE REQUIRED FOR THE VARIETY SPECIFIED AT THE RATE OF APPLICATION SPECIFIED.
- SOD AREAS SHALL BE SPECIFIED GRASS. GRASS FOR SODDING SHALL BE FRESHLY CUT IN SQUARES ONE FOOT WIDE BY TWO FEET LONG. SODD SHALL BE HEALTHY, FREE OF INSECTS, DRY, BROWN AND UNFRESH SOD WILL BE REJECTED.

**INSTALLATION**

- THE CONTRACTOR SHALL EXCAVATE PLANT PITTS, ACCORDING TO GOOD LANDSCAPING PRACTICE, UNLESS OTHERWISE DIRECTED.
- ALL CONTAINER GROWN ROOTBALLS SHALL BE CAREFULLY SCORED BEFORE SETTING PLANT PITTS.
- ALL BACKFILL AROUND PLANT MATERIAL SHALL BE WORKED FIRMLY, TAMPED AND WATERED IN UNDER AND AROUND THE ROOTBALL TO FILL ALL VOIDS.
- SHRUBS AND TREES SHALL BE INSTALLED NO CLOSER THAN TWO FEET TO A CURB, GUTTER, SIDEWALK OR BUILDING. SMALL MATURING TREES SHALL BE PLANTED NO CLOSER THAN 10 FEET TO A BUILDING. MEDIUM MATURING TREES NO CLOSER THAN 20 FEET TO A BUILDING AND LARGE MATURING TREES NO CLOSER THAN 25 FEET TO A BUILDING.
- SHRUBS SHALL NOT BE PLANTED WITHIN SIX FEET OF TREE TRUNKS.
- PLANTING BEDS SHALL BE CUT OR EDGED TO FORM A UNIFORM CLEAN LINE BETWEEN BEDS AND LAWN AREAS.
- IN LANDSCAPED AREAS ADJACENT TO PARKING SPACES OR STREET CURBS, NO PLANT MATERIAL WITH THE POTENTIAL TO REACH OVER SIX INCHES IN HEIGHT MAY BE LOCATED WITHIN TWELVE INCHES OF THE CURB OR OTHER PROTECTIVE BARRIER. THIS IS INTENDED TO PROTECT PLANTED MATERIALS FROM DAMAGE BY CAR BUMPERS AND CAR DOORS.
- AFTER ALL PLANT MATERIAL IN A PLANT BED AREA HAS BEEN INSTALLED AND APPROVED, THE AREAS BETWEEN PLANTS SHALL BE RAKED TO AN EVEN GRADE TO CONFORM TO PREMULCHING FINISH GRADES. ALL PLANTING BEDS IN PLANT SAUCERS SHALL THEN BE UNIFORMLY COVERED WITH A MINIMUM THREE INCH LAYER OF #2 GRADE OR BETTER CYPRESS MULCH OR EQUIVALENT.
- PLANT MATERIAL BACKFILL MIXTURE SHALL BE THOROUGHLY MIXED IN THE FOLLOWING PREPARATIONS: 75% SITE SOIL, 15% TOPSOIL, AND 10% COMPOSTED COW MANURE. NO PEAT MOSS SHALL BE USED IN THE BACKFILL MIXTURE AND NO FERTILIZER SHALL BE PLACED DIRECTLY IN THE PLANTING HOLE.
- ROUGH GRADES WILL BE ESTABLISHED BY THE OWNERS GENERAL CONTRACTOR AT APPROXIMATELY 3 INCHES BELOW CURBS, SIDEWALKS, HARDSCAPE AMENITIES, MOWING STRIPS AND ABUTMENTS.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL FINE GRADING PREPARATION FOR PLANTING.
- SOD SHALL BE LAID END TO END AND SIDE TO SIDE IN A STAGGERED LINE TO FORM A UNIFORM LAYER. ALL UNEVEN EDGES SHALL BE SQUARELY TRIMMED TO ALLOW CLOSE AND FIRM FITTING OF EACH PIECE.
- IT SHALL NOT BE REQUIRED TO STAKE TREES UNLESS THE SITE SOIL OR INSTALLATION METHOD IS SUCH THAT THE TREE CANNOT STAY FIRMLY ON THEIR OWN.
- REMOVE AND DISPOSE OF ALL STRAPS, WIRE BASKETS, BURLAP, FLAGGING TAPE, PLANT NAME TAGS, LABELS, BAMBOO STAKES AND TIES, AND PLASTIC POTS FROM ALL TREES AND PLANTS AT THE TIME OF INSTALLATION.

**IRRIGATION**

- DEFINITION: IRRIGATION SYSTEM: A WATER DISTRIBUTION SYSTEM THAT ENSURES THAT ALL PLANT MATERIALS AND LANDSCAPED AREAS ARE WATERED ON A REGULAR BASIS. IRRIGATION SHALL NOT BE INSTALLED TO WATER INSIDE RETENTION AREAS OR STORMWATER FACILITIES.
- ALL LANDSCAPE AREAS SHALL BE REQUIRED TO HAVE AN IRRIGATION SYSTEM (SEE DEFINITION ABOVE FROM CITY OF SUMTER ORDINANCE 9.0.2.4) THAT PROVIDES COVERAGE TO ALL PLANT MATERIALS. ALL COMPONENTS OF IRRIGATION SYSTEMS SHALL BE MAINTAINED IN PROPER WORKING ORDER.
- TREES SHALL BE WATERED AT A RATE OF FIVE GALLONS PER INCH OF CALIPER AT LEAST ONE TIME PER WEEK OR AS NEEDED BASED ON SOIL AND WEATHER CONDITIONS. ALL TREES SHALL BE THOROUGHLY HAND WATERED AT THE TIME OF INSTALLATION.
- AFTER SODDING IS COMPLETED, THE ENTIRE SOD AREAS SHALL BE WATERED EACH DAY FOR 30 DAYS. IRRIGATE UNTIL THE SOIL IS WET TO A DEPTH OF 2 INCHES. IRRIGATION RATES SHALL BE BASED ON SOIL AND WEATHER CONDITIONS AND SHOULD BE APPLIED REGULARLY TO KEEP THE AREAS MOIST BUT NOT SATURATED.
- PROVIDE AN AUTOMATIC IRRIGATION SYSTEM TO COVER ALL PLANTINGS AND GROUND COVERS.

**FERTILIZER**

- SOIL ANALYSIS IS REQUIRED PRIOR TO ALL APPLICATIONS OF FERTILIZER. A SOIL ANALYSIS IS REQUIRED ON ALL REPRESENTATIVE SOIL TYPES FOR THE SPECIFIED VEGETATION SPECIES PRIOR TO AGRICULTURAL GRANULAR LIME AND GRANULAR FERTILIZER APPLICATIONS. REPRESENTATIVE SOIL TYPES INCLUDE EXISTING PREDOMINANT SOILS ON THE PROJECT SITE, CUT SLOPES, FILL MATERIAL, AND AREAS OF EXPOSED SUBSOIL.
- COLLECT ONE (1) SOIL SAMPLE FOR EACH DISTINGUISHABLE REPRESENTATIVE SOIL TYPE. ONE (1) SAMPLE CONSISTS OF MIXING TEN (10) SUB-SAMPLES TAKEN UNIFORMLY OVER EACH DISTINGUISHABLE REPRESENTATIVE SOIL TYPE.
- SOIL SAMPLES SHOULD BE TAKEN FROM STOCKPILES WHERE THE MATERIAL WILL BE THE TOP SIX (6) INCHES OF THE SEEDBED.
- TAKE EACH SUB-SAMPLE WITHIN THE TOP FOUR (4) TO SIX (6) INCHES OF THE SOIL SURFACE.
- SUBMIT A SEPARATE SOIL SAMPLE FOR EACH REPRESENTATIVE SOIL TYPE TO A SCOTTD CERTIFIED SOIL TESTING LABORATORY OR CLEMSON EXTENSION SERVICE.
- APPLY ALL FERTILIZER AT A RATE THAT IS WITHIN ±10% OF THE WEIGHT RECOMMENDATION OF THE SOIL ANALYSIS. APPLY FERTILIZER THAT IS WITHIN ±2 PERCENTAGE POINTS OF THE RECOMMENDATION OF THE SOIL ANALYSIS.
- NITROGEN SHALL BE SLOW RELEASE NITROGEN INCLUDING A MINIMUM OF 50% WATER INSOLUBLE (SLOW RELEASE) NITROGEN.
- WHEN A FERTILIZER BLEND MEETING THE SOIL ANALYSIS REQUIREMENTS IS NOT READILY AVAILABLE, THE CONTRACTOR MAY COMBINE FERTILIZERS OF DIFFERENT COMPOSITIONS TO MEET THE SOIL ANALYSIS COMPOSITION REQUIREMENTS.
- APPLY THE FERTILIZER AT A RATE TO ACHIEVE THE AMOUNT OF NITROGEN, PHOSPHORIC ACID, AND POTASH THAT WOULD HAVE BEEN ACCOMPLISHED BY UTILIZING THE FERTILIZER SPECIFIED BY THE SOIL ANALYSIS.
- REFER TO THE CLEMSON COOPERATIVE EXTENSION WEBSITE [http://www.clemson.edu/extension/hgic/complete\\_list.html](http://www.clemson.edu/extension/hgic/complete_list.html) FOR FACT SHEETS REGARDING FERTILIZATION OF TREES AND SHRUBS (FACT SHEET 1000) AND LAWNS (FACT SHEET 1201).

**SHRUBS (FOUNDATION SHRUBS AND TALL SHRUBS)**

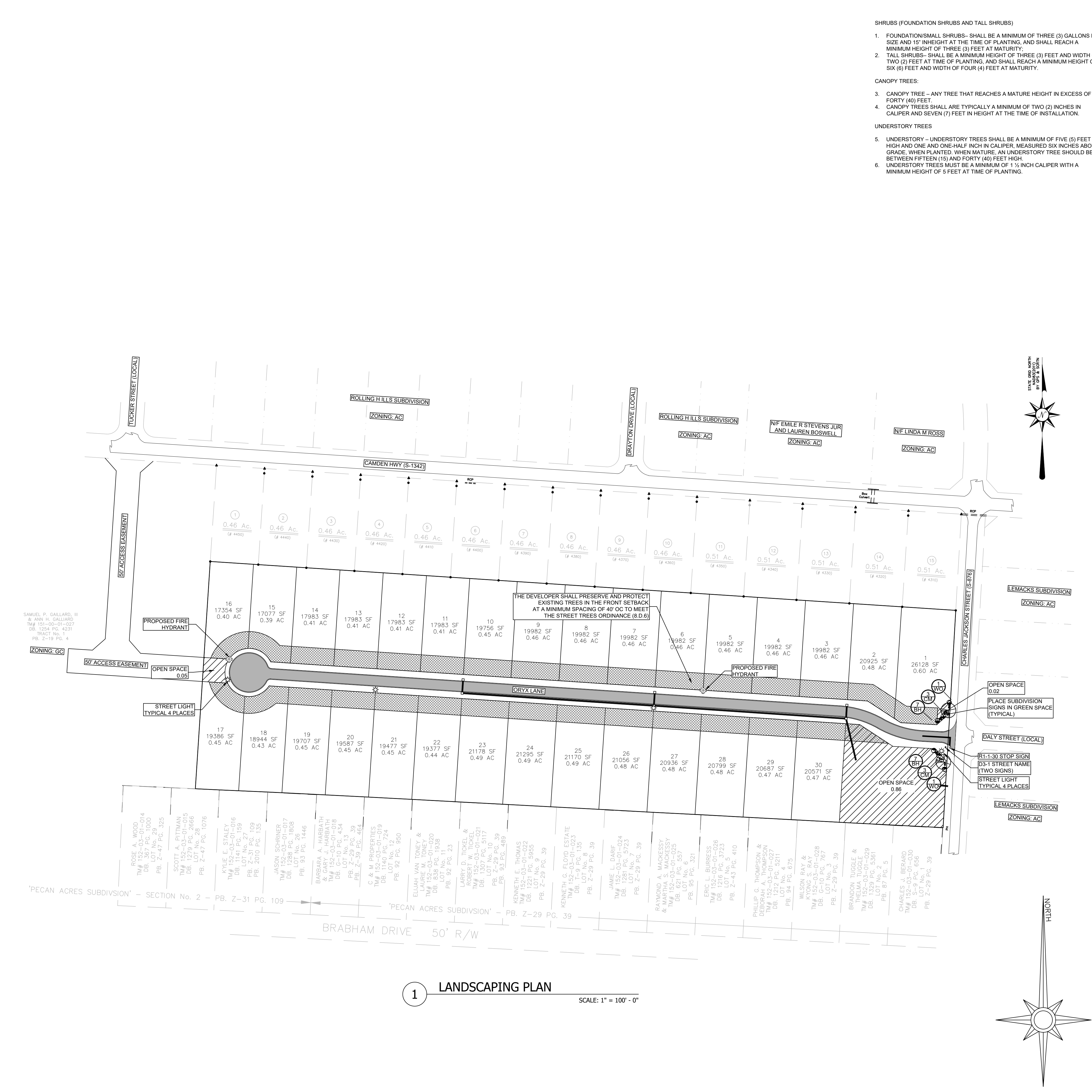
- FOUNDATIONS/SMALL SHRUBS- SHALL BE A MINIMUM OF THREE (3) GALLONS IN SIZE AND 15" IN HEIGHT AT THE TIME OF PLANTING, AND SHALL REACH A MINIMUM HEIGHT OF THREE (3) FEET AT MATURITY.
- TALL SHRUBS- SHALL BE A MINIMUM HEIGHT OF THREE (3) FEET AND WIDTH OF TWO (2) FEET AT TIME OF PLANTING, AND SHALL REACH A MINIMUM HEIGHT OF SIX (6) FEET AND WIDTH OF FOUR (4) FEET AT MATURITY.

**CANOPY TREES:**

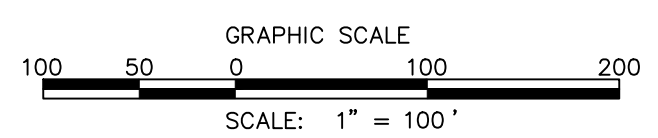
- CANOPY TREE - ANY TREE THAT REACHES A MATURE HEIGHT IN EXCESS OF FORTY (40) FEET.
- CANOPY TREES SHALL ARE TYPICALLY A MINIMUM OF TWO (2) INCHES IN CALIPER AND SEVEN (7) FEET IN HEIGHT AT THE TIME OF INSTALLATION.

**UNDERSTORY TREES**

- UNDERSTORY - UNDERSTORY TREES SHALL BE A MINIMUM OF FIVE (5) FEET HIGH AND ONE AND ONE-HALF INCH IN CALIPER, MEASURED SIX INCHES ABOVE GRADE. WHEN PLANTED, WHEN MATURE, AN UNDERSTORY TREE SHOULD BE BETWEEN FIFTEEN (15) AND FORTY (40) FEET HIGH.
- UNDERSTORY TREES MUST BE A MINIMUM OF 1 1/2 INCH CALIPER WITH A MINIMUM HEIGHT OF 5 FEET AT TIME OF PLANTING.

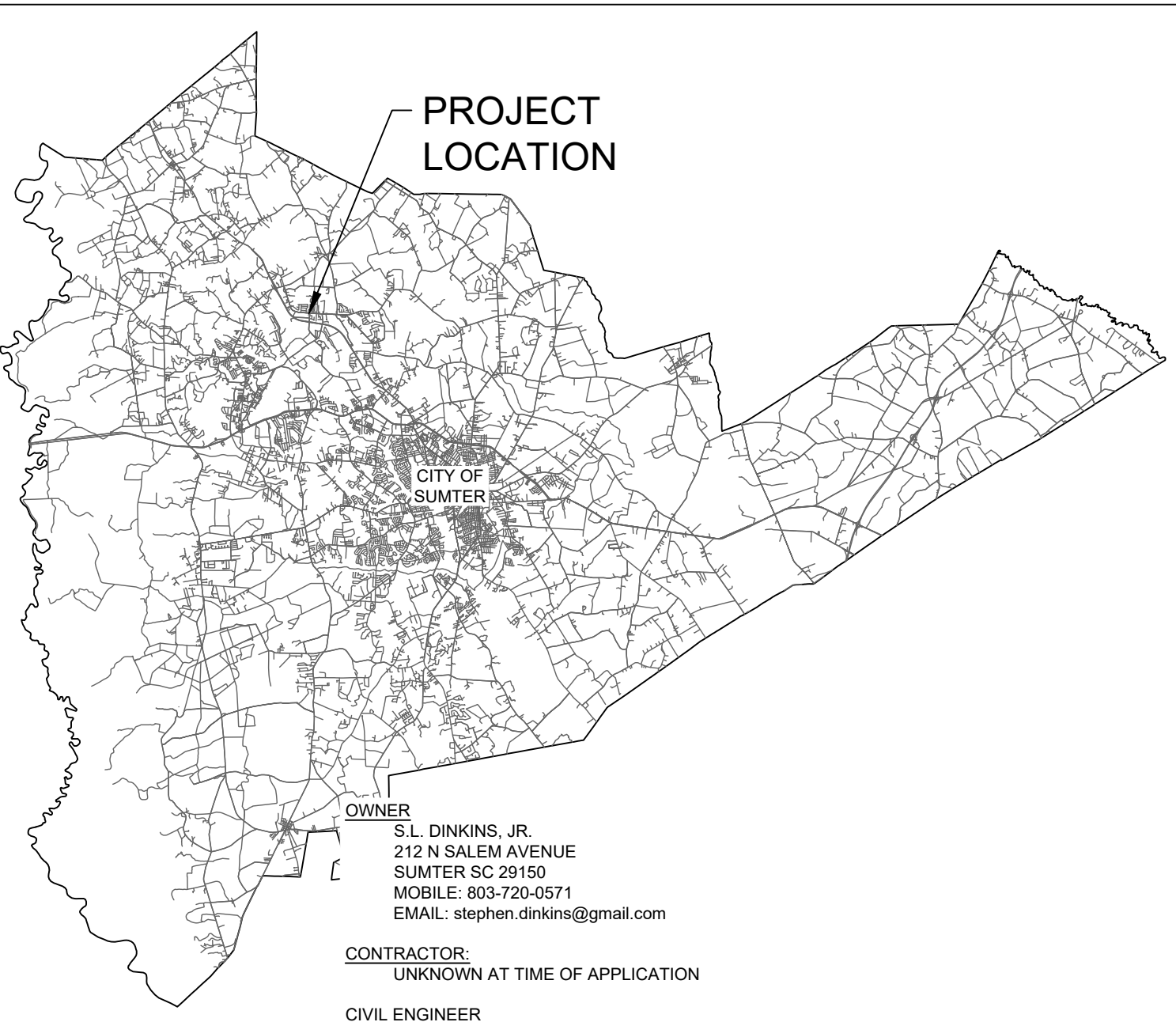
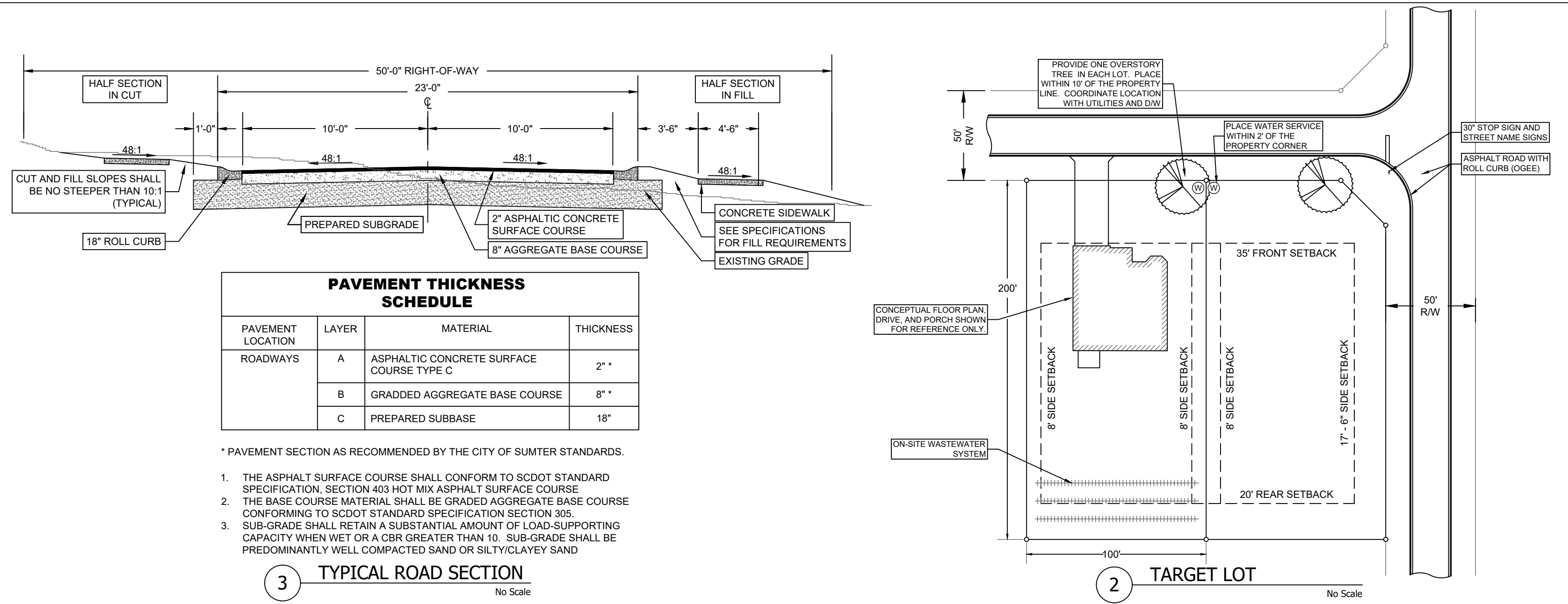


**1** LANDSCAPING PLAN  
SCALE: 1" = 100' - 0"



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**J&VP**  
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 Civil Engineers  
 466 N. Guignard Drive  
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 Office: (803) 774-2127  
 Mobile: 803-983-4969

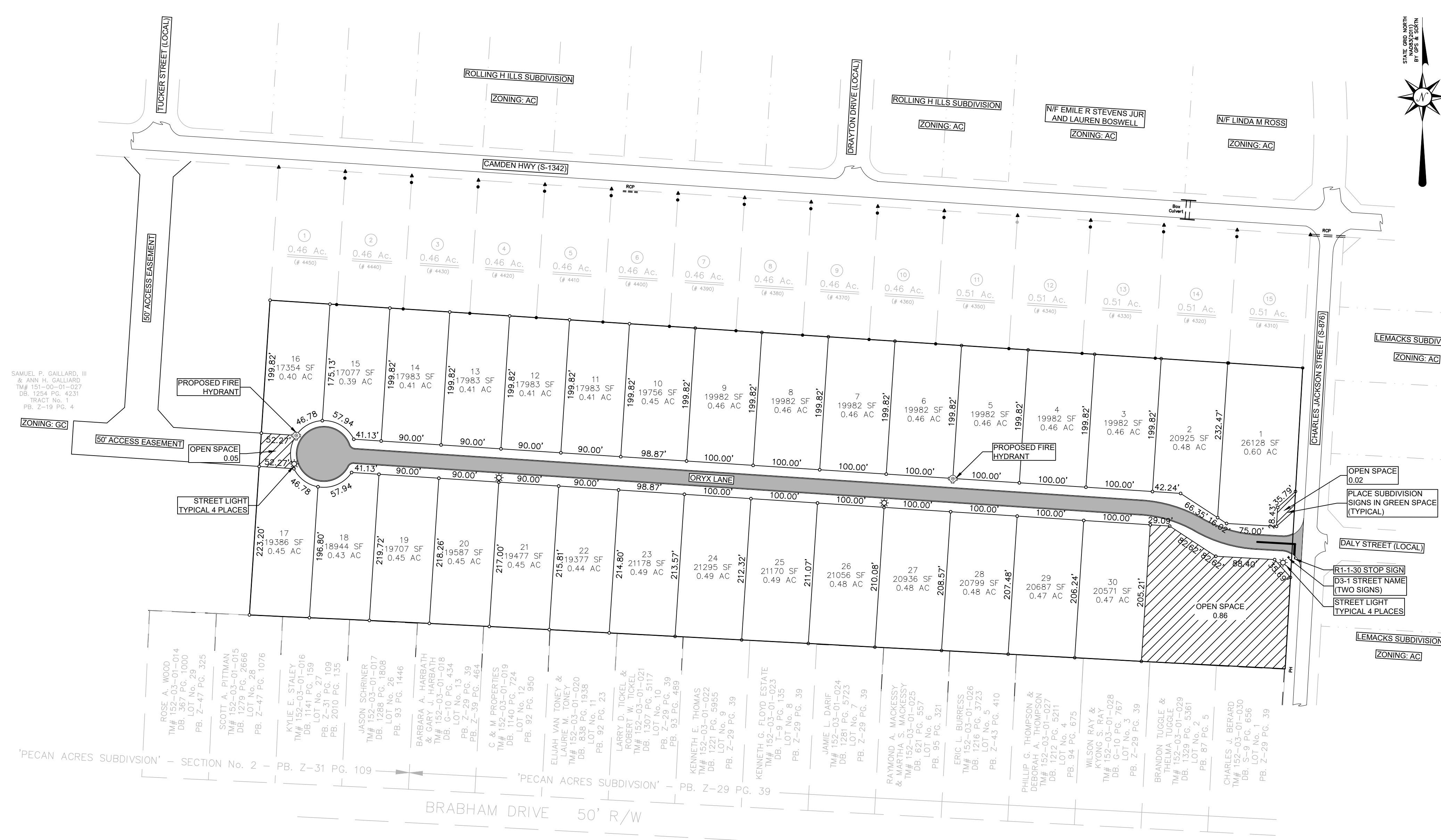


OWNER:  
S.L. DINKINS, JR.  
212 N. SALEM AVENUE  
SUMTER, SC 29150  
MOBILE: 803-724-6571  
EMAIL: stephen.dinkins@gmail.com

CONTRACTOR:  
UNKNOWN AT TIME OF APPLICATION

CIVIL ENGINEER:  
JONES AND VANPATTEN, LLC  
466 N. GUIGNARD DRIVE  
SUMTER, SC 29150  
OFFICE: 803-774-2127  
MOBILE: 803-983-4969  
EMAIL: PAUL@JANDVP.COM

- SITE NOTES:**
- TAX MAP SURVEY No.: 151-00-01-027 (PART)
  - SITE ADDRESS: CAMDEN HWY AND CHARLES JACKSON STREET, DALZELL, SC 29040
  - SITE ACREAGE (AND TOTAL CONTIGUOUS ACREAGE): 16.49 ± TOTAL ACRES (PART OF PLAT BOOK Z19, PAGE 4)
  - ZONING: CURRENT ZONING: GENERAL COMMERCIAL. SEE SITE PLAN FOR ADJACENT PROPERTY ZONING
  - CITY LIMITS: THIS SITE IS LOCATED OUTSIDE THE LIMITS OF THE CITY OF SUMTER.
  - HIGHWAY CORRIDOR PROTECTION DISTRICT: THIS SITE IS NOT WITHIN SUMTER COUNTY HIGHWAY CORRIDOR PROTECTION ZONE.
  - MILITARY ZONES: THIS SITE IS NOT WITHIN A NOISE CONTOUR, ACCIDENT POTENTIAL ZONE, OR THE RANGE COMPATIBILITY DISTRICT.
  - WETLANDS: THE NATIONAL WETLANDS INVENTORY INDICATES THAT FRESHWATER WETLANDS ARE NOT PRESENT ON OR NEAR THE SITE.
  - FLOOD ZONE: THIS PARCEL IS NOT WITHIN THE REGULATED FLOODWAY AND THE 100 YEAR FLOOD ZONE ACCORDING TO FIRM 4585C0114F DATED OCTOBER 27, 2022
  - AIRPORT DISTRICT: PER THE SOUTH CAROLINA AIRPORT COMPATIBLE LAND USE EVALUATION TOOL, THIS SITE IS WITHIN THE 6 NAUTICAL MILE BUFFER FROM AN AIRPORT VICINITY ZONE.
  - SOIL TYPES: THE ENTIRE SITE IS MAPPED AS ORANGEBURG (HYDRAULIC SOIL GROUP B) BY THE USDA WEB SOIL SURVEY.
- RESIDENTIAL USE IN GENERAL COMMERCIAL ZONE REQUIREMENTS PER EXHIBIT 5A**
- MINIMUM LOT DIMENSIONS: AREA: 6,000 SF FOR SINGLE FAMILY DETACHED DWELLINGS IN THE GC DISTRICT. MINIMUM WIDTH: 60'
  - YARD AND BUILDING SETBACKS: 13.1. FRONT: 35'; 13.2. SIDE: 8' FOR RESIDENTIAL USES; 13.3. REAR: 20' (ABUTTING RESIDENTIAL USES)
  - BUILDING REQUIREMENTS: BUILDING HEIGHT: 35' MAX. IMPERVIOUS SURFACE RATIO: 45%
  - MAXIMUM DENSITY: 7.2 UNITS PER GROSS ACRE.



**1** SUBDIVISION SITE PLAN  
 SCALE: 1" = 100' - 0"

REVISION	
DATE	

PROJECT: MARA HILLS RESIDENTIAL SUBDIVISION  
 SHEET TITLE: SITE PLAN  
 SEALS:

**JONES AND VANPATTEN, LLC**  
 COA NO. 3282

DATE: 12-30-2024  
 DRAWN BY: PCJ  
 PROJ. NUMBER: 24015  
 DWG. NAME: 24015.dwg  
 SHEET NO.

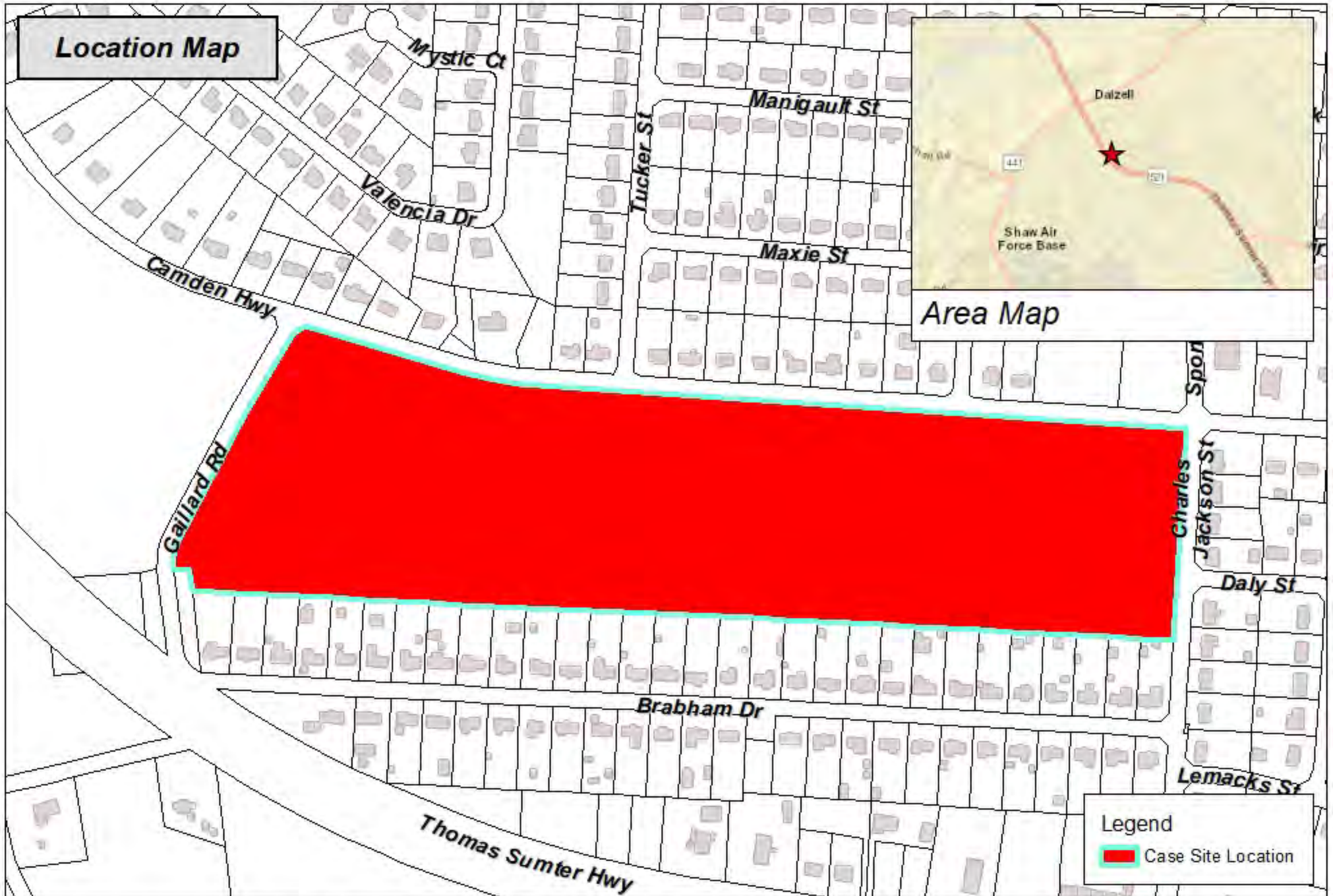
South Carolina 811 logo with a star and the text 'South Carolina 811'.

GRAPHIC SCALE  
 100 50 0 100 200  
 SCALE: 1" = 100'

A vertical line labeled 'NORTH' with a compass rose pointing upwards.


I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000.

# Location Map

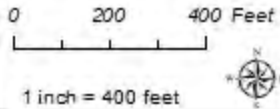


# Area Map

## Legend

 Case Site Location

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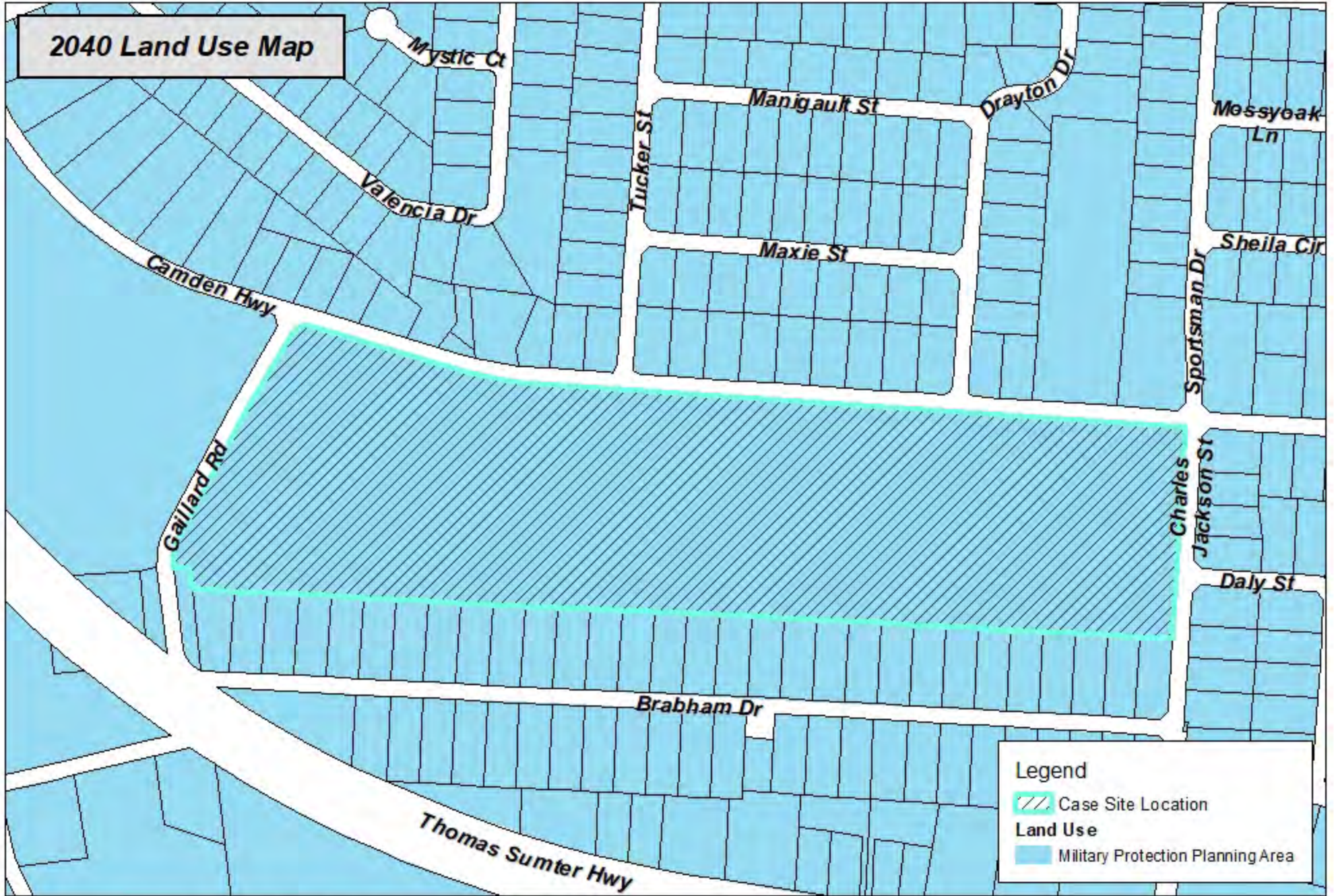


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Date: 1/14/2025  
User Name: sgreene  
Document Name: SD-24-04



SD-24-04  
4610 Camden Hwy, Dalzell, SC 29040  
Tax Map # 151-00-01-027

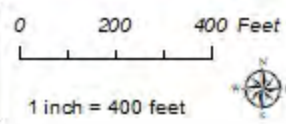
# 2040 Land Use Map



**Legend**

-  Case Site Location
- Land Use**
-  Military Protection Planning Area

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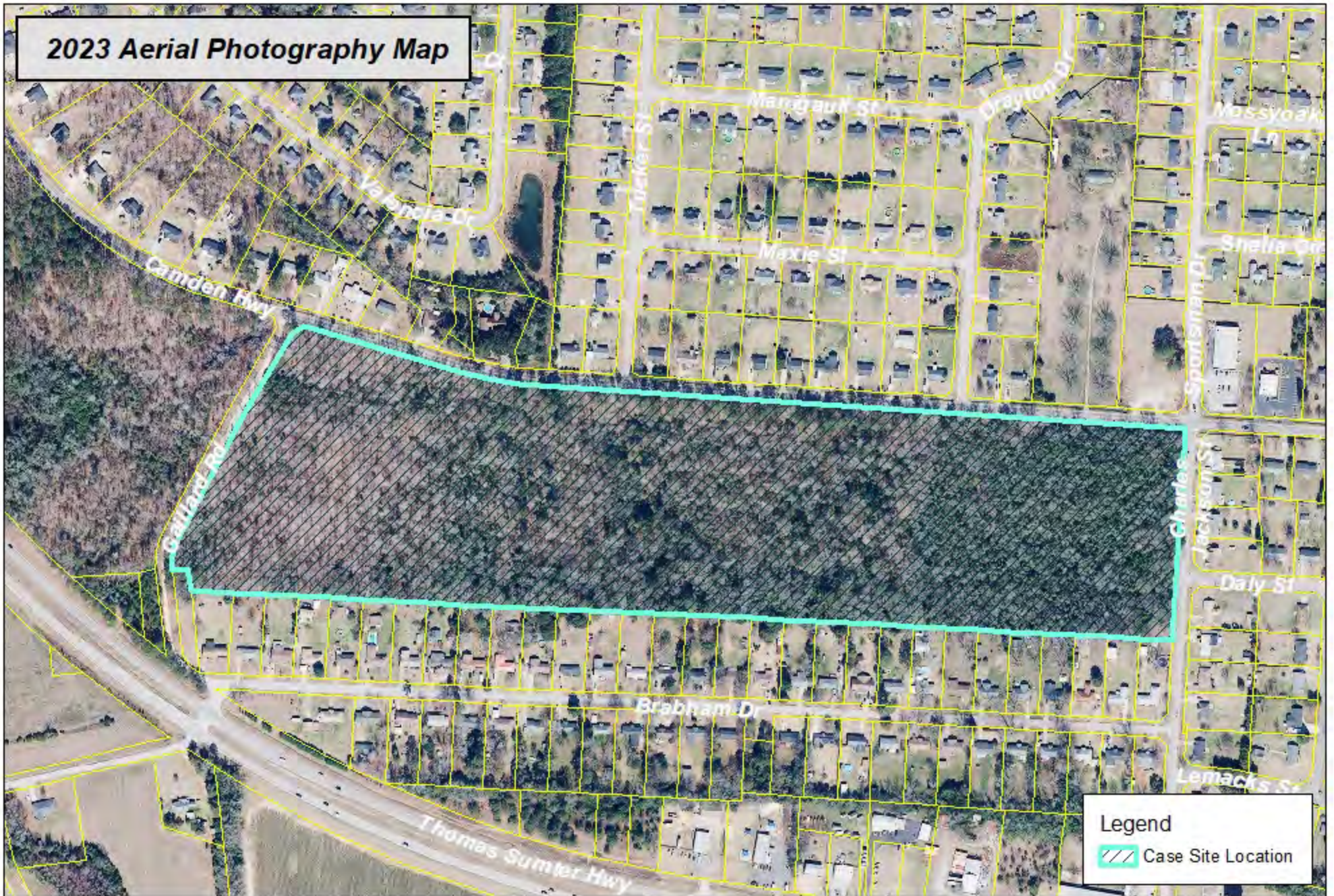


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User Name: jstewart  
Document Name: SD-24-04

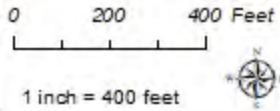


SD-24-04  
4610 Camden Hwy, Dazell, SC 29040  
Tax Map # 151-00-01-027

# 2023 Aerial Photography Map



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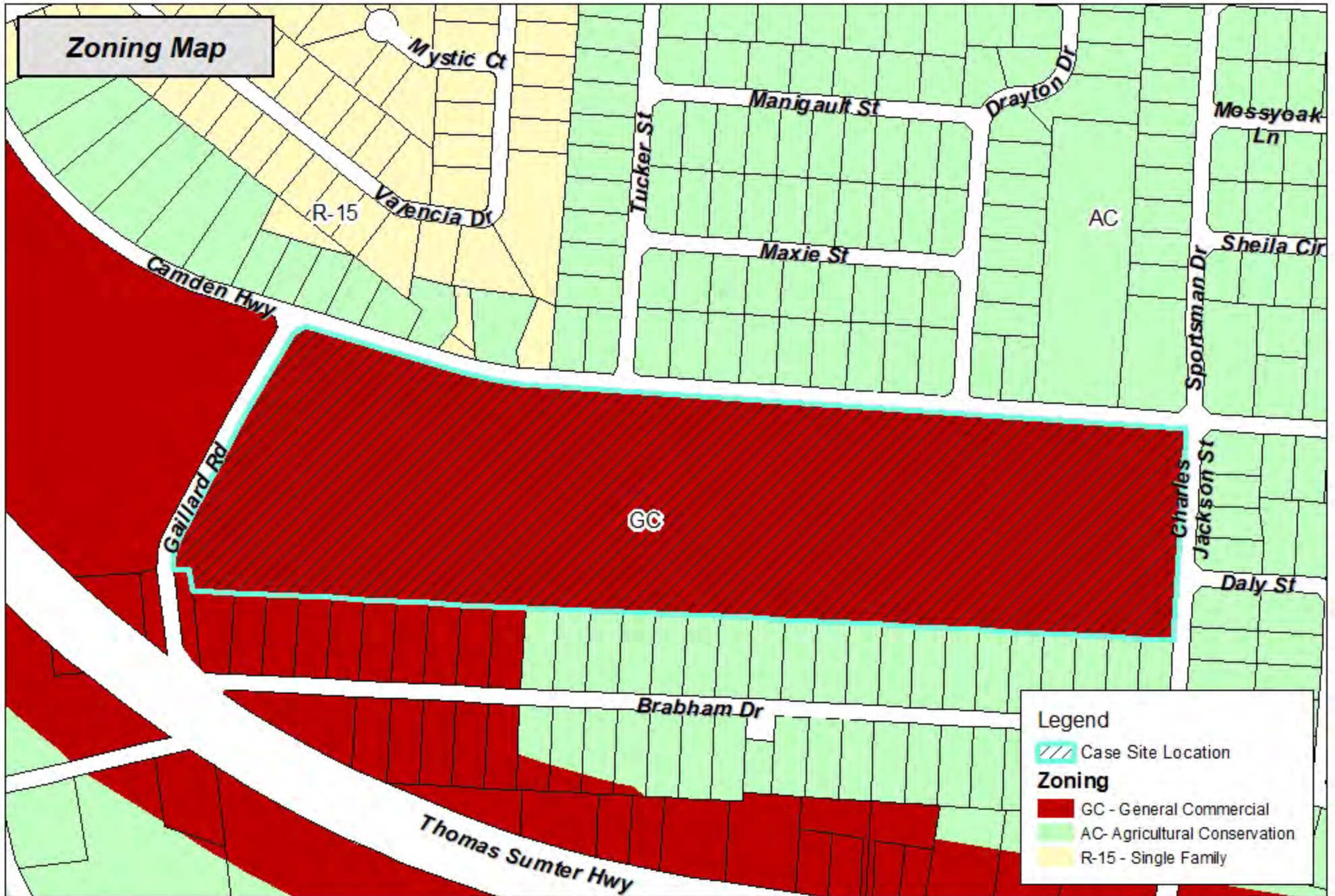


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Document Name: SD-24-04



SD-24-04  
4610 Camden Hwy, Darrell, SC 29040  
Tax Map # 151-00-01-027

# Zoning Map



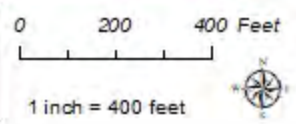
**Legend**

- Case Site Location

**Zoning**

- GC - General Commercial
- AC - Agricultural Conservation
- R-15 - Single Family

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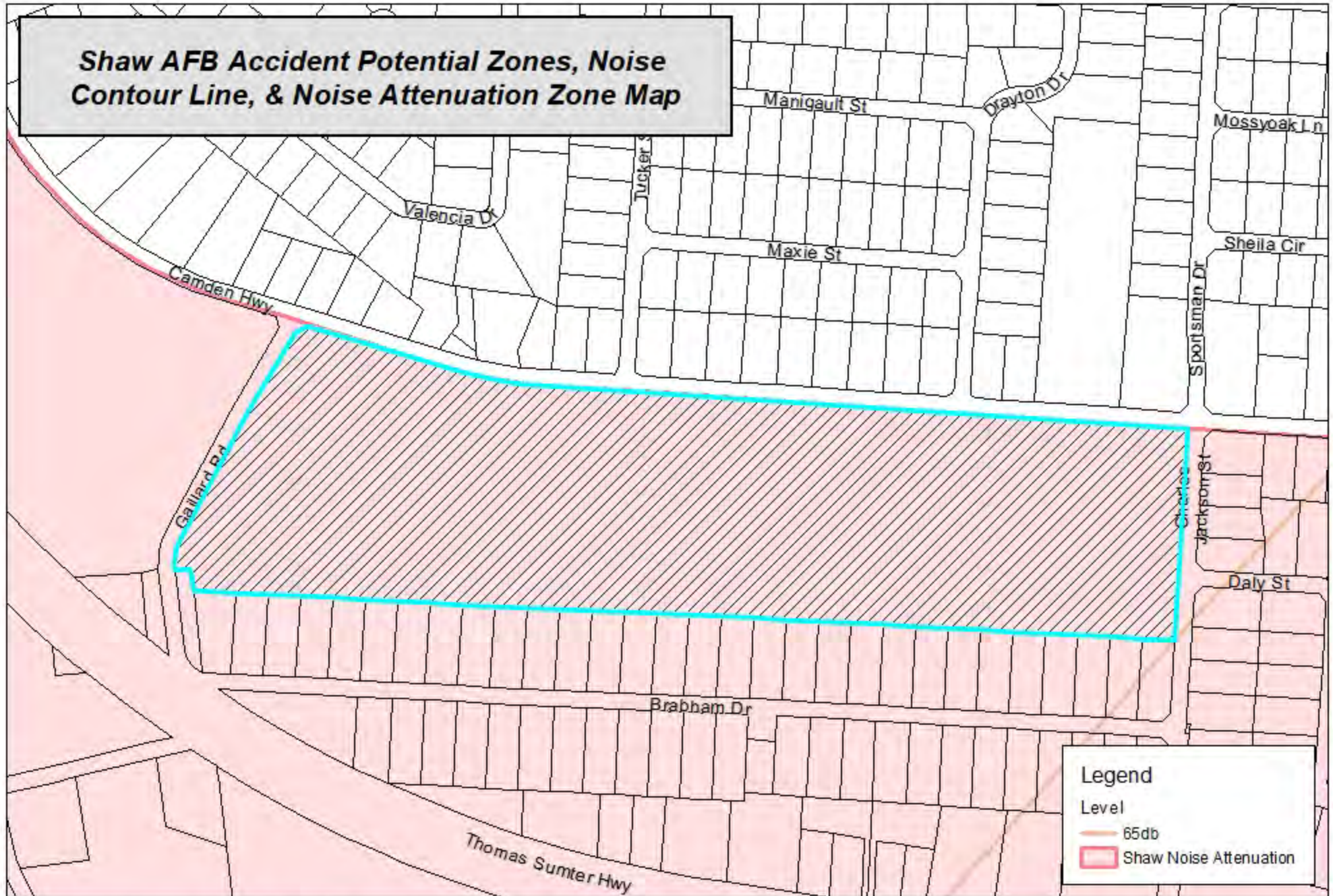


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# Shaw AFB Accident Potential Zones, Noise Contour Line, & Noise Attenuation Zone Map

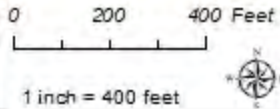


**Legend**

Level

-  65db
-  Shaw Noise Attenuation

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